

**DNR PARKS AND RECREATION DIVISION
Tin Cup Springs Equestrian Campground
Engineering and Design
Project Statement, Date 3/26/26**

The Department of Natural Resources (DNR) Parks and Recreation Division (PRD) is requesting engineering and final design of a new equestrian campground in Lake County, Michigan.

PROJECT BACKGROUND:

The DNR PRD had been wanting to develop an equestrian campground since the late 2010's to meet demand after a local equestrian campground was permanently closed. Parcel 09-008-001-00 in Lake County was able to be obtained for this purpose. A member of the local equestrian group, with PSC experience, donated an initial design for the new campground. It consisted of new roads, 25 camping sites, two vault toilets, a hand pump well for potable water, and a 5" well that runs off user brought generators.

In approximately 2020, the PRD Baldwin Field Office started to break ground on this project. This tract of land had been logged, so the site clearing was minimal compared to a fully forested parcel. As the field office had time and funding, they were able to get the roads laid out and cut in, about half are topped with road gravel, and 24 campsites are cut in.

PROPOSED SCOPE OF WORK:

Interested bidders are to verify existing field conditions, perform any surveys required to complete design, complete engineered stamped drawings for permitting, and submit for any required plan reviews. A meeting with EGLE will be required to verify what is necessary for this campground. This includes whether a well house and sanitary station are needed. Advise on depth of well required and if handpump can be combined in the same casing as electric submerged pump. Verify any existing conditions and designs of ADA vault toilets, walkways, and campsite to make sure they meet current code. Engineering of the vault toilet structures and vaults shall be included.

Consulting services shall follow the State of Michigan, Department of Management and Budget Contract for Professional Services and DMB Facilities Administration, Design and Construction Division policies and procedures for the development of Contract Bid Documents and Construction Administration.

Designs shall conform to the following:

Michigan Licensing and Regulatory Affairs (LARA), Michigan Environment, Great Lakes, and Energy (EGLE), Local Health Department, Federal environmental and land agencies, Federal and State barrier free standards

The successful consultant shall provide brief bi-weekly research progress updates for the project team.

GENERAL REQUIREMENTS:

- Provide engineered stamped drawings for Tin Cup Equestrian Campground for plan review for EGLE, LARA, and any other associated permit(s).
- Verify existing site conditions and provide any applicable surveys as needed.
- PSC must provide documentation of three previous projects of similar scope along with references from these projects.
- A minimum of 1 face to face project team meeting and 2 Teams meetings per phase.
- All potential bidders are required to have a Unique Entity Identifier (UEI) registered in SIGMA.

REFERENCE DOCUMENTS:

- Reference #1 - Initial Design
- Reference #2 - Current As-built survey
- Reference #3 - EGLE word document

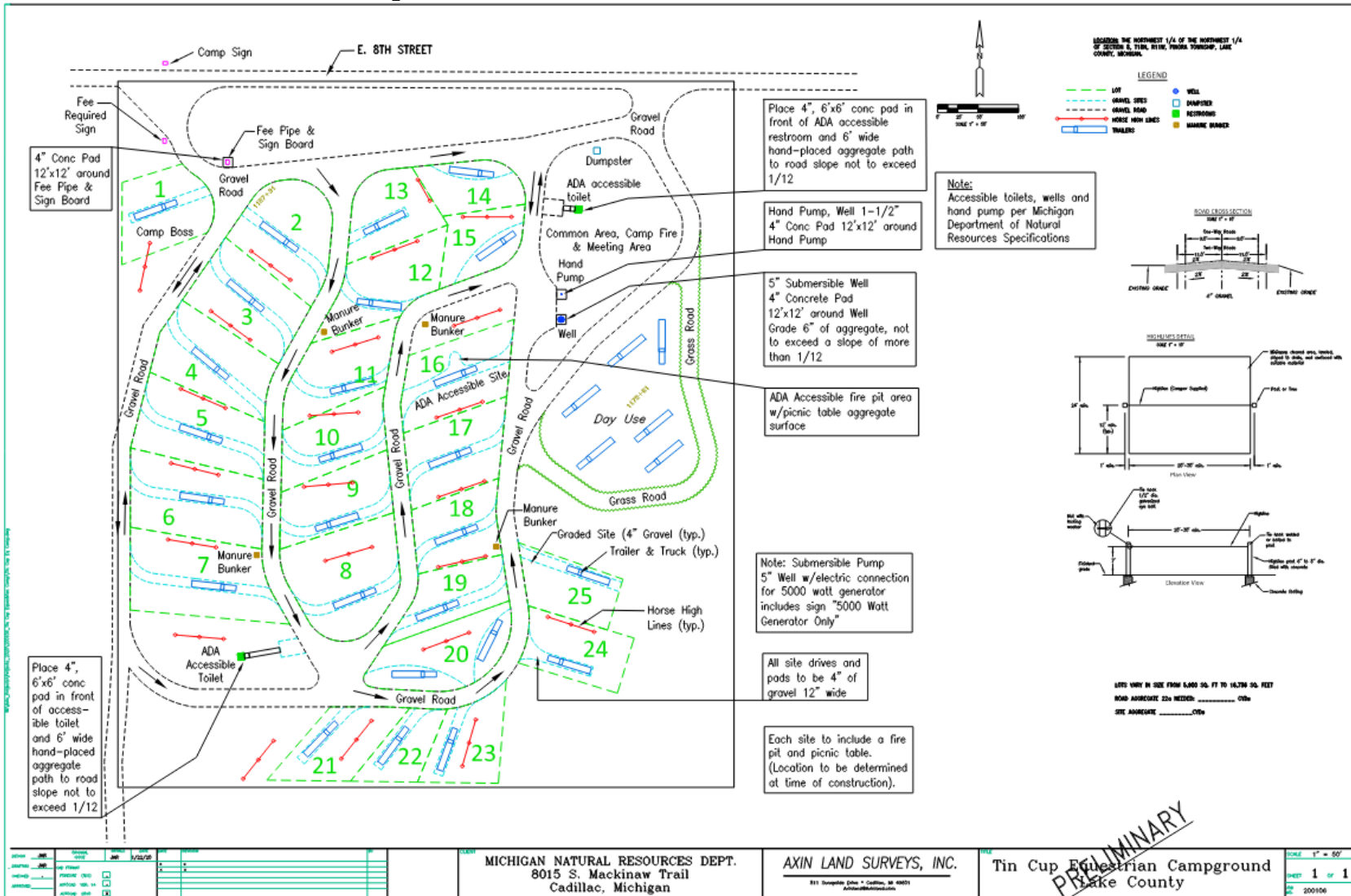
PROJECT SCHEDULE:

This engineering and design shall be initiated immediately upon acceptance of the qualified Request for Proposal. The DNR desires the engineering to be completed by August 2026 but is willing to adjust that date if the PSC is meeting required progress benchmarks and has justifiable cause.

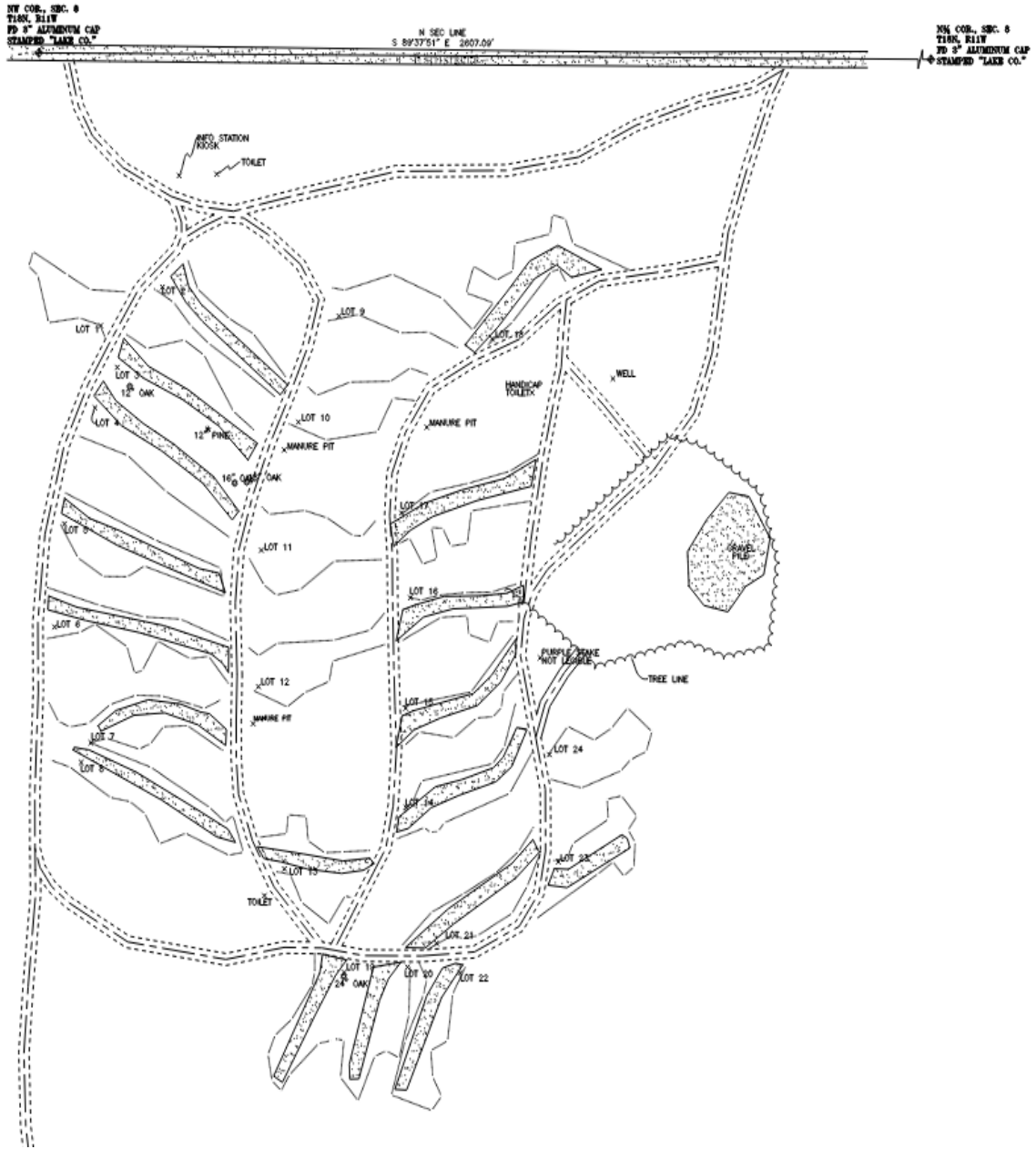
A proposed project schedule shown in weeks shall be provided as part of the proposal submission. Bi-weekly PSC progress updates will be required for the project team.

DNR Parks and Recreation Regional Field Planner is Steven Tinskey (231)878-9113.

Reference #1: Initial donated drawing.



Reference #2: Current As-built survey.



Reference #3: Letter from EGLE.

“EGLE is in the process of reviewing Tin Cup Springs Equestrian Campground Construction Permit Application and associated plans.

Upon initial review of the plans provided, in accordance with the Public Health Code Act 368 of 1978 Article 12 Part 125, there are some items that need clarification or discussion before moving forward:

1. *Rule 3(1) requires plans to be stamped by a state licensed engineer if the total cost of the construction project is more than \$15,000.*
 - *Once the plans are finalized, please have them stamped by a licensed engineer.*

2. *Rule 6a(1) states: “A campground owner shall arrange a primitive campground so that every 25 sites, or fraction of 25 sites, are served with a potable water outlet and a privy for each sex or 2 unisex privies. However, a primitive campground area that does not have more than 10 sites may be served with a unisex privy and a potable water outlet. A campground owner shall not locate a privy closer than 50 feet to a site boundary.”*
 - *Confirm privies will be located no closer than 50 feet from a site boundary.*
 - *Verify if two or three unisex privies will be provided. Plans show two, but the application indicates three.*

3. *Rule 7 states: “A campground owner shall designate a manager or person to be in charge of the campground. The owner shall post a notice indicating where the manager can be contacted when the manager is not on duty. The manager or person in charge shall be available when the campground is occupied. The manager shall post a notice, or provide campers with information at check-in, which indicates the location of the nearest available phone and which lists the locations and telephone numbers for police, fire, and medical assistance.”*
 - *Verify signage will include manager contact information, location of nearest phone, and telephone numbers for police, fire, and medical assistance.*

4. *Rule 8(1) states: “A campground owner shall provide a road right-of-way that is not less than 20 feet wide. A campground owner shall ensure that the right-of-way is free of obstructions and provides free and easy access to abutting sites. A campground owner shall maintain the traveled portion of the right-of-way in a passable and relatively dust-free condition when the campground is in operation.”*
 - *Verify road right-of-way is not less than 20 feet wide for all roads.*

5. *Rule 9(2) in part states: “a campground owner shall provide an above grade room that houses pumping equipment, provide equipment for the disinfection of the entire water system, provide sample taps, and provide pump-to-waste facilities for all wells.”*
 - *Per this rule, a well house is required. Based on the 5” well not having a distribution system, this requirement can be discussed.*

6. *Rule 26(1) states: “A campground owner shall provide at least 1 sanitary station of approved design for a modern campground and also for a primitive campground. A modern campground catering solely to recreational vehicles that connect to the campground's water and sewer systems and a primitive campground served solely by hand pump wells are exempt from this subrule.”*
 - *Based on the 5” submersible well, a sanitary station should be included in the plans.*
7. *Rule 36 addresses variance requests.*
 - *For any variance requests to the rules, send an email with the request stating which rule the variance is requested for.*
8. *Wells need to be permitted with the local health department.*
 - *Has DHD10 been contacted regarding the well installation and well classification?*

Regards,

Zach Wegner

Environmental Engineer – Campgrounds and Public Swimming Pools

Drinking Water and Environmental Health Division

Michigan Department of Environment, Great Lakes, and Energy

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www.michigan.gov/EGLE